



ARTIST IMPRESSION



117 FRANKLIN STREET - ELTHAM 3095

ARCHITECTURAL WORKING DRAWING SET
WORKING DRAWING SET - ISSUED FOR CONSTRUCTION

SHEET NUMBER	SHEET NAME	SCALE:	REVISION	ISSUED
A.00.00	COVER PAGE		BP	
A.00.02	GENERAL NOTES & TYPICAL DETAILS	1:20	BP	
A.01.01	EXISTING SITE PLAN / DEMOLITION PLAN	1:100		
A.01.02	SITE PLAN CLEARED	1:100	BP	
A.02.01	GARAGE LEVEL	1:100	BP	
A.02.02	GROUND FLOOR LEVEL	1:100	BP	
A.02.03	FIRST FLOOR PLAN	1:100	BP	
A.02.04	ROOF PLAN	1:100	BP	
A.04.01	ELECTRICAL PLANS			
A.05.01	ELEVATIONS	1:100, 1:25	BP	
A.06.01	SECTIONS	1:50	BP	
A.06.02	SECTIONS	1:50	BP	
A.06.03	SECTIONS	1:50	BP	
A.07.01	CONSTRUCTION DETAILS	1:50, 1:10		
A.08.01	DOOR & WINDOW SCHEDULES - UNIT 1		BP	
A.08.02	DOOR & WINDOW SCHEDULES - UNIT 2		BP	



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THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION. NOTIFY ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE BUILDING DESIGNER PRIOR TO THE CONTINUATION OF WORKS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
DO NOT SCALE OFF DRAWINGS.
ALL BOUNDARIES AND CONTOURS ARE SUBJECT TO THE SURVEY.

REVISIONS:			
05.11.2025	P01	PRELIMINARY DRAWINGS PREPARED FOR SUB-CONSULTANT CIRCULATION	
09.11.2025	P02	PRELIMINARY DRAWINGS UPDATED TO INCLUDED TRUSS AND POSI CHANGES TO ENGINEERING	
14.11.2025	P03	PRELIMINARY DRAWINGS UPDATED FOR SUB-CONSULTANT WORKS, INCLUDING ENERGY AND BUILDING SURVEYOR	
08.12.2025	BP	BUILDING PERMIT ISSUE - ISSUED FOR CONSTRUCTION	
12.12.2025	BP-A	BUILDING PERMIT ISSUE - ISSUED FOR CONSTRUCTION - CHANGES TO MASTER ROOM WINDOW	

SITE ADDRESS:
117 FRANKLIN STREET ELTHAM

CLIENT :
AFACx PTY LTD

DRAWING TYPE :
WORKING DRAWING SET - CONSTRUCTION
ISSUE

PROJECT TYPE :
DUAL-OCCUPANCY DEVELOPMENT



DRAWING TITLE :
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SCALE :
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A.00.00

GENERAL NOTES & STANDARDS

AUSTRALIAN STANDARD REFERENCES

- THESE NOTES ARE NEITHER EXHAUSTIVE OR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS UNLESS EXPRESSLY STATED OTHERWISE, AND ARE PROVIDED ONLY AS A GUIDELINE. NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.

- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTICED TO THE AUTHOR. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE AUTHOR'S WRITTEN CONSENT DOES SO AT OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.

- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.

- THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS & SPECIFICATIONS BEFORE THE COMMENCEMENT OF ANY WORK, OR ORDER MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS ARE CARRIED OUT IN STRICT ACCORDANCE WITH ALL CURRENT BUILDING CODES, RELEVANT AUSTRALIAN STANDARDS, BUILDING REGULATIONS, LOCAL BY-LAWS AND APPLICABLE TOWN PLANNING REQUIREMENTS AND REPORT ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION.

- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

- ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

A.S. 1288 - 2021 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
A.S. 2047 - 2014 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS
A.S. 1562.1 - 2018 DESIGN AND INSTALLATION OF METAL SHEET ROOF AND WALL CLADDING
A.S. 1562.3 - 2006 DESIGN AND INSTALLATION OF PLASTIC SHEET ROOF AND WALL CLADDING
A.S. 1684 - 2021 NATIONAL TIMBER FRAMING CODE
A.S. 1860 - 2006 INSTALLATION OF PARTICLEBOARD FLOORING
A.S. 2049 - 2002 ROOF TILES
A.S. 2050 - 2018 INSTALLATION OF ROOF TILES
A.S. 2870 - 2011 (PT 1) RESIDENTIAL SLABS & FOOTINGS
A.S. 2904 - 1995 DAMP - PROOF COURSES & FLASHING
A.S. 3000 - 2018 CONCRETE STRUCTURES
A.S. 3600.1 - 2014 CODE OF PRACTICE FOR PHYSICAL BARRIERS USED IN PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES
A.S. 3700 - 2018 MASONRY IN BUILDINGS
A.S. 3740 - 2021 WATERPROOFING OF WET AREA IN RESIDENTIAL BUILDINGS
A.S. 3789 - 2014 SMOKE ALARMS
A.S. 4055 - 2012 WIND LOAD FOR HOUSING
A.S. 4100 - 2021 STEEL STRUCTURES
A.S. 1626.1-2012 SWIMMING POOL SAFETY BARRIER FENCING
A.S. 4200.1-2017 PLUMBABLE BUILDING MEMBRANES

- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING WORKS.

CIVIL & BUILDING WORKS NOTES

- SOIL CLASSIFICATION: THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE RELEVANT SOIL REPORT, UNLESS OTHERWISE NOTED.

- FOOTINGS TO BE FOUND AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT. THE H.O.F.L. (HORIZONTAL FOOTING LINE) SHALL BE DRAINAGE TO BE DESIGNED & INSPECTED BY AN ENGINEER TO SATISFY THEIR REQUIREMENTS.

- SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES' REQUIREMENTS. FOOTINGS NOT TO ENCRATCH TITLE BOUNDARIES AND EASEMENT LINES.

- CONNECT AND DISCHARGE STORMWATER TO COUNCIL REQUIREMENTS. REFER TO CIVIL ENGINEERS DESIGN AND SPECIFICATION. SEWER & WASTE OUTLETS TO BE CONNECTED TO SEWERAGE MAIN AT POINT OF ENTRY.

- SURFACE WATER TO BE DIVERTED AWAY FROM THE BUILDING, SO THAT THE ADJACENT EXTERNAL FINISHES SURROUNDING THE BUILDING ARE TO BE SLOPED NOT LESS THAN 50MM OVER FIRST 100MM.

- STORMWATER DRAINAGE PIPES TO BE 90mm MIN. DIA. HD PVC. SET TO FALL 1:100 MIN. PROVIDE 10% AT ALL ANGLES AND CHANGE OF DIRECTION.

- BUILDER TO INSTALL 90mm DIA. RECTANGULAR DPs AS SHOWN ON PLAN. PROVIDE RWH AT ALL BOX GUTTERS WHERE INDICATED.

- BUILDER TO ENSURE ALL PLUMBING MATERIALS ARE COMPATIBLE.

- BUILDER TO CONFIRM LOCATION OF LEGAL POINT OF DISCHARGE PRIOR TO COMMENCEMENT OF ANY DRAINAGE WORKS. ALL STORMWATER TO BE CONNECTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

- BUILDER TO ENSURE ALL ROOF SURFACES AND BOX GUTTERS ARE FLASHED AND WATERPROOFED IN ACCORDANCE WITH ALL RELEVANT CODES AND PRACTICES.

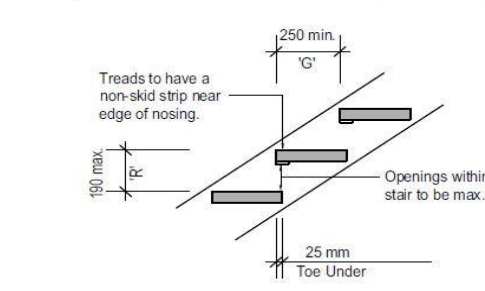
- BUILDER TO ENSURE ALL DOWNPIPES, GUTTERS AND RAIN WATER HEADS TO BE CONCEALED WHERE POSSIBLE.

- REFER TO ENGINEERS CIVIL DESIGN AND SPECIFICATION FOR ALL CIVIL AND DRAINAGE WORKS - ALTERNATIVELY BUILDER TO DETERMINE ON SITE.

STAIR NOTE / REQUIREMENTS

Going and risers shall not exceed the following:

	RISER (R)	GOING (G)	QUANTITY
Stairs	Max. 190 Min. 115	Max. 355 Min. 250	Max. 115 Min. 550



RISERS - 190 MM MAX., 115 MM MIN.

GOING - 355 MM MAXIMUM, 250 MM MINIMUM

ENSURE THAT STAIR TREADS HAVE OPAQUE RISERS IN ACCORDANCE WITH AS 1428.1:2009.

STEP SIZES TO BE:
RISERS (R) - 190MM MAX. AND 115MM MIN.
GOING (G) - 355MM MAX. AND 250MM MIN.
2R + 1G = 700MM MAX. AND 500MM MIN.
125MM MAX. GAP TO OPEN TREADS

HANDRAILS
(I) HANDRAILS TO A STAIRWAY OR RAMP MUST:
(I)(B) LOCATED ALONG AT LEAST ONE SIDE OF THE STAIRWAY FLIGHT OR RAMP; AND
(I)(B) LOCATED ALONG THE FULL LENGTH OF THE STAIRWAY FLIGHT OR RAMP, EXCEPT IN THE CASE WHERE A HANDRAIL IS ASSOCIATED WITH A BARRIER THE HANDRAIL MAY TERMINATE WHERE THE BARRIER TERMINATES; AND

(II) HAVE THE TOP SURFACE OF THE HANDRAIL NOT LESS THAN 865 MM VERTICALLY ABOVE THE NOSINGS OF THE STAIR TREADS OR THE FLOOR SURFACE OF THE RAMP (SEE FIGURE 9.2.4); AND

(IV) BE CONTINUOUS AND HAVE NO OBSTRUCTION ON OR ABOVE THEM THAT WILL TEND TO BREAK A HANDHOLD, EXCEPT FOR NEWEL POSTS, BALL TYPE STANCHIONS, OR THE LIKE.

(V) THE REQUIREMENTS OF (A) DO NOT APPLY TO:
(I) A STAIRWAY OR RAMP PROVIDING A CHANGE IN ELEVATION OF LESS THAN 1.1M; OR

(II) A LANDING; OR

(III) A WINDER WHERE A NEWEL POST IS INSTALLED TO PROVIDE A HANDHOLD.

PROVIDE BALUSTRADES WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE.

HANDRAILS TO BE 865MM MIN. ABOVE STAIR NOSING AND LANDINGS..

THE MINIMUM HEAD ROOM CLEARANCE TO BE 2000MM.

RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.

NO. OF RISERS BEFORE A LANDING IN A SINGLE FLIGHT OF STAIRS SHALL NOT EXCEED 18 RISERS.

SMOKE ALARMS

- IN ACCORDANCE WITH A.S. 3786 AND THE NCC 9.5.1 - SMOKE ALARMS TO BE POWERED BY CONSUMER MAINS WHERE SUPPLIED TO THE BUILDING AND INTERCONNECT BETWEEN ALL SMOKE ALARMS WITHIN DWELLING.

MECHANICAL EXHAUST SYSTEM:

- DENOTES LOCATION OF EXHAUST FANS THAT ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH NCC 2022 - SECTION 10.2.2 AND AS 1668.2.

THE REQUIREMENTS OF WHICH STATE A **MINIMUM FLOW RATE** OF 25L/s FOR A BATHROOM OR SANITARY COMPARTMENT AND 40L/s FOR A KITCHEN OR LAUNDRY. EXHAUST FROM A KITCHEN, KITCHEN RANGE HOOD, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST DISCHARGE DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR.

AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH SECTION 10.8.2(A) MUST:
A) BE INTERLOCKED WITH THE ROOM'S LIGHT SWITCH; AND
B) INCLUDE A RUN-ON TIMER SO THAT THE EXHAUST SYSTEM CONTINUES TO OPERATE FOR 10 MINUTES AFTER THE LIGHT SWITCH IS TURNED OFF.

SUB-FLOOR VENTILATION

- BUILDER TO PROVIDE SUB-FLOOR VENTILATION TO DWELLINGS CONSTRUCTED ON TIMBER SUB-FLOOR IN ACCORDANCE WITH RELEVANT BUILDING CODES AND PRACTICES.

SOUND PROOFING

- ALL SOIL AND WASTE PIPE PENETRATIONS SHALL BE WRAPPED IN A 25MM THICK SOUND INSULATING MATERIAL SIMILAR TO "SOUNDLAG" IN ACCORDANCE WITH NCC REQUIREMENTS. INSULATION TO ACHIEVE RW 50

GAS WORKS

- PLUMBER TO LOCATE METERS AND CONDUCT GAS PLUMBING WORKS TO THE SATISFACTION OF THE RELEVANT AUTHORITIES.

SLAB / FOOTINGS

- REFER TO STRUCTURAL ENGINEERS DETAILS AND DOCUMENTATION FOR FOOTING LAYOUT, SIZE, AND FOUNDING DEPTHS. NOM. 100MM POLYSTYRENE OR EQUALLY APPROVED OR EQUALLY APPROVED SEPERATION JOINT AROUND COLUMN WHERE SLAB MEETS COLUMNS.
- REINFORCED CONCRETE SLAB TO GROUND FLOOR TO BE FORMED ON APPROVED WATERPROOF MEMBRANE AND 50MM CONSOLIDATED SAND BED, NOM. 100MM POLYSTYRENE OR EQUALLY APPROVED SEPERATION JOINT AROUND COLUMNS AND WALLS. REFER TO STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS FOR SLAB CONSTRUCTION, SAW CUT JOINTS, AND CONSTRUCTION JOINTS LAYOUT.

DRAINAGE AND HYDRAULIC NOTES

- BUILDER TO CONFIRM THE EXACT LOCATION OF LEGAL POINT OF DISCHARGE PRIOR TO COMMENCEMENT OF ANY DRAINAGE WORKS.

- STORMWATER DRAINS TO BE 90mm DIA. HD PVC SET TO FALL 1:100. PROVIDE 10% AT ALL ANGLES AND CHANGE OF DIRECTION. REFER TO CIVIL ENGINEERS APPROVED STORM WATER DESIGN FOR DETAILS.

- INSTALL 90mm DIA. DPs AS SHOWN ON PLAN. PROVIDE RWH AT ALL BOX GUTTERS.

- BUILDER TO ENSURE ALL PLUMBING MATERIALS ARE COMPATIBLE.

- ALL DPs TO BE CONNECTED T THE LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF RESPONSIBLE AUTHORITY.

- ALL DOWNPIPES AND GUTTERS TO BE CONCEALED WHERE POSSIBLE. ALL NEW DPs, GUTTERS, AND FLASHING TO BE SELECTED COLORBOND POWDERCOAT FINISH.

- BUILDER AND PLUMBING CONTRACT TO ASSUME FULL RESPONSIBILITY FOR ALL SYSTEMS REQUIRED TO FACILITATE GREY WATER IN THE PROPOSED PROJECT

TERMITE PROTECTION

- WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARD.

- TERMITE PROTECTION IN ACCORDANCE TO AS 3660.1 IS REQUIRED WHERE THE PROPOSED IS NOMINATED AS BEING IN AN AREA SUBJECT TO TERMITE INFESTATION.

MASONRY CONSTRUCTION

IN ACCORDANCE WITH NCC 2022 - VOL 2 - PART 3.2 AND AS 3700-2018

VERTICAL ARTICULATION IN ACCORDANCE WITH NCC 2022 - VOL 2 - PART 5.8 WHERE IT STATES, JOINTS SHALL BE PROVIDED IN STRAIGHT, CONTINUOUS WALLS (HAVING NO OPENING) AT NO MORE THAN 6M CENTRES AND LOCATED NO CLOSER THAN THE HEIGHT OF THE WALL AWAY FROM THE CORNERS.

WHERE THE OPENINGS MORE THAN 60 X 900 MM OCCUR, THEN THE ARTICULATION JOINTS ARE TO BE REDUCED TO 5M CENTRES AND POSITIONED SO THEY ARE NOT MORE THAN 1.2M FROM OPENINGS.

LOCATED WITHIN 300MM OF ENGAGED PIERS AND WHERE THE WALL CHANGES THICKNESS.

VERTICAL ARTICULATION JOINTS AT WINDOWS AND DOORS ARE TO BE CONTINUOUS WITHOUT ANY TOOTHING

PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600 MM CENTRES IN EACH DIRECTION AND WITHIN 300 MM OF ARTICULATION JOINTS.

DAMP PROOFING AND FLASHING
DAMP-PROOF COURSES AND FLASHINGS MUST BE -

i) LOCATED SO AS TO FORM A CONTINUOUS DAMP-PROOF BARRIER IN ACCORDANCE WITH PART 5.2.4 OF THE NCC 2022

WEEP HOLES
PROVIDE WEEP HOLES TO IN ACCORDANCE WITH NCC 2022 PART 5.7.5.

FIRST RATE ENERGY RATING SUMMARY

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ENERGY RATING REPORT PREPARED BY ENERGY ASSESS CONSULTANTS. A SUMMARY OF THE GENERAL RATING ASSUMPTIONS ARE LISTED BELOW. THE BUILDER IS RESPONSIBLE TO INCORPORATE ALL REQUIREMENTS STATED IN THE REPORT.

ENERGY REQUIREMENTS - CLIMATE ZONE C2b

UNIT 1 - 7.1 STAR RATING ACHIEVED & UNIT 2 - 7.0 STAR RATING ACHIEVED

ROOF & CEILING DETAILS
PITCHED ROOF: R7.0 BULK INSULATION + R2.4 ANTICON
FLAT FRAMED ROOF: R7.0 BULK INSULATION + FOIL BLANKET

EXTERNAL & INTERNAL WALL DETAILS
ALL EXTERNAL WALLS: R2.5 BULK + VAPOUR PERMEABLE WRAP
HEBEL PARTY-WALL: R2.5 BULK INSULATION
BETWEEN GARAGE&DWELLING: R2.5 BULK INSULATION

FLOOR DETAILS
ALL FRAMED FLOORS: R6.0 BULK INSULATION

WINDOWS & DOOR DETAILS
FRAMES - ALUMINIUM

ALL AWNING WINDOWS
DOUBLE GLAZED: U=1.85, SHGC=0.46

ALL DOUBLE HUNG WINDOWS
DOUBLE GLAZED: U=2.34, SHGC=0.47

ALL FIXED WINDOWS
DOUBLE GLAZED: U=1.84, SHGC=0.60

ALL GLAZED HINGE DOORS
DOUBLE GLAZED: U=0.23, SHGC=0.43

ALL GLAZED SLIDING DOORS
DOUBLE GLAZED: U=1.93, SHGC=0.49

SKYLIGHT GLAZING
DOUBLE GLAZED: U=2.58, SHGC=0.24

WINDOW MANUFACTURER - SELECTED TO MEET REQUIREMENTS

AIR LEAKAGE
- EXHAUST FANS TO BE SEALED
- WINDOWS AND SLIDING DOORS ARE TO BE FITTED WITH WEATHER SEALS
- EXTERNAL DOORS TO BE WEATHER STRIPPED
- GAPS AND CRACKS AROUND DOORS, WINDOWS AND SERVICE PENETRATIONS TO BE SEALED
- ALL OTHERS: AS PER ENERGY RATING REPORT
- ALL PROPOSED RECESSED DOWNLIGHTS TO BE IC-4 RATED

DECALS TO GLAZED DOOR UNIT
PROVIDE DECALS TO FULL HEIGHT GLAZING DOOR UNIT. MARKINGS SHALL BE IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20MM IN HEIGHT AND LOCATED SO THAT THE VERTICAL DISTANCE FROM THE FLOOR LEVEL IS -

A) NOT LESS THAN 700 MM FROM THE UPPER EDGE OF THE FLOOR; AND

B) NOT MORE THAN 1200 MM TO THE LOWER EDGE OF THE BAND.

GLAZING - GRADE A SAFETY GLAZING
ALL GLAZING TO BE IN ACCORDANCE WITH AS 1288 - 2021

EXTERNAL GLAZING TO BE IN ACCORDANCE WITH AS 2047 - 2014 SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:

(i) ALL ROOMS - WITHIN 500 MM VERTICAL OF THE FLOOR
(ii) BATHROOM - WITHIN 1500 MM VERTICAL FROM THE BATHTHASE
(iii) LAUNDRY - WITHIN 1200 MM VERTICAL FROM FLOOR AND/OR WITHIN 300 MM HORIZONTAL FROM DOORS
(iv) DOORWAY - WITHIN 300 MM HORIZONTAL FROM ALL DOORS

REFER ALSO TO THE ACOUSTIC REPORT FOR GLAZING REQUIREMENTS

WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZES WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND. BUILDER TO CONFIRM SELECTION PRIOR TO THE ORDER OR FABRICATION. REFER TO WINDOW AND DOOR SCHEDULE.

ROOF PLAN NOTES
ALUMINIUM KLIP-LOK HTEN ROOF SHEETING @ NOMINATED PITCH TO MANUFACTURERS SPECIFICATIONS.

COLORBOND ROOF SHEETING TO GABLE ROOF FORMS OF 25 DEGREE PITCH INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

ROOF FRAMING TO ENGINEER AND TRUSS MANUFACTURERS DESIGN AND SPECIFICATIONS

INSTALL 90mm DIA. DOWNPIPES AS SHOWN ON PLANS. PROVIDE RWH AT ALL BOX GUTTERS AS SHOWN. BUILDER TO ENSURE ALL PLUMBING MATERIALS ARE COMPATIBLE

BUILDER TO ENSURE ALL ROOF SURFACES AND BOX GUTTERS ARE FLASHED AND WATERPROOFED IN ACCORDANCE WITH ALL RELEVANT CODES AND PRACTICES.

ALL DOWNPIPES TO BE CONNECTED TO LEGAL POINT OF DISCHARGE POINTS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITIES.

ALL NEW DOWNPIPES, GUTTERS, AND FLASHINGS TO BE SELECTED COLORBOND ALUMINIUM STEEL FINISH.

ALL EXPOSED DOWNPIPES TO BE COLORBOND STEEL IN SELECTED COLOUR TO MATCH WALL BEHIND.

ALL BOX GUTTERS TO HAVE MINIMUM FALL OF 1:100

PART 10.2 WET AREA WATERPROOFING (INTERNAL)

ALL WET AREAS TO COMPLY WITH NCC 2022 - PART 10.2 AND AS3740 - 2021.

10.2.1 WET AREAS

(1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM.

(2) THE WATERPROOFING SYSTEM (N) (1) MUST BE EITHER WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6.

10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)

(1) FOR A SHOWER AREA WITH A HOB, STEP-DOWN OR LEVEL THRESHOLD, THE FOLLOWING APPLIES:

(A) THE FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING ANY HOB OR STEP-DOWN (SEE FIGURE 10.2.2); AND

(B) THE WALLS OF THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 1800 MM ABOVE THE FLOOR SUBSTRATE (SEE FIGURE 10.2.2);

(C) WALL JUNCTIONS AND JOINTS WITHIN THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40 MM EITHER SIDE OF THE JUNCTION (SEE FIGURE 10.2.2);

(D) WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF (SEE FIGURE 10.2.2);

(E) PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF.

(2) A SHOWER WITH A PREFORMED SHOWER BASE MUST ALSO COMPLY WITH THE REQUIREMENTS OF (1), EXCEPT FOR (A) WHICH IS NOT APPLICABLE.

10.2.4 AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS

(1) FOR AREAS ADJACENT TO ALL BATHS AND SPAS, THE FOLLOWING APPLIES:

(A) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.

(B) FOR TIMBER FLOORING INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.

(C) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.

(2) FOR AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS, THE FOLLOWING APPLIES:

(A) WALLS MUST BE WATER RESISTANT (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B)

(I) TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL. FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL; AND

(II) FOR ALL EXPOSED SURFACES BELOW VESSEL LIP.

(B) WALL JUNCTIONS AND JOINTS MUST BE WATER RESISTANT WITHIN 150 MM ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL.

(C) WALL/FLOOR JUNCTIONS MUST BE WATERPROOF FOR THE EXTENT OF THE VESSEL. (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B).

(3) FOR INSERTED BATHS AND SPAS, THE FOLLOWING APPLIES:

(A) FOR FLOORS AND HORIZONTAL SURFACES:

(I) WATERPROOF JUNCTIONS WITHIN 150 MM OF A BATH OR SPA.

(II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.

(B) WALL JUNCTIONS AND JOINTS MUST BE WATER RESISTANT WITHIN 150 MM ABOVE THE LIP OF A BATH OR SPA.

(C) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.

(D) THERE ARE NO REQUIREMENTS FOR JUNCTIONS AND JOINTS IN WALLS BENEATH THE LIP OF A BATH OR SPA.

TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES

ALL FLOORS OF BATHROOMS, WCs AND LAUNDRIES TO BE WATERPROOFED IN ACCORDANCE WITH A.S. 3740 - 2021. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT 1800 MM ABOVE THE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150 MM ABOVE BATHS, BASINS, SINKS, AND TROUGHS IF WITHIN 75 MM OF THE WALL.

10.2.17 ENCLOSED SHOWERS WITH LEVEL THRESHOLD (WITHOUT HOB OR SETDOWN)

FOR ENCLOSED SHOWERS WITHOUT A STEPDOWN OR A HOB, AT THE EXTREMITY OF THE SHOWER AREA, A WATERSTOP MUST BE POSITIONED SO THAT ITS VERTICAL LEG FINISHES: (A) WHERE A SHOWER SCREEN IS TO BE INSTALLED, NOT LESS THAN 5 MM ABOVE THE FINISHED FLOOR LEVEL (SEE FIGURE 10.2.17); AND WHERE

(B) THE WATERSTOP INTERSECTS WITH A WALL OR HAS A JOINT, THE JUNCTION MUST BE WATERPROOF.

10.2.18 UNENCLOSED SHOWERS

(1) UNENCLOSED SHOWERS MUST BE CONSTRUCTED AS FOLLOWS:

(A) A WATERSTOP MUST BE INSTALLED A MINIMUM HORIZONTAL DISTANCE OF 1500 MM FROM THE SHOWER ROSE.

(B) THE VERTICAL LEG OF THE WATERSTOP MUST FINISH:

(I) FLUSH WITH THE TOP SURFACE OF THE FLOOR (SEE FIGURE 10.2.18); AND

(II) WHERE THE WATERSTOP INTERSECTS WITH A WALL OR IS JOINED:

(A) THE JUNCTION MUST BE WATERPROOF; OR

(B) THE WHOLE WET AREA FLOOR MUST BE WATERPROOFED AND DRAINED TO A FLOOR WASTE AS FOR THE SHOWER AREA.

(2) IN THE CASE OF (1)(B)(II)(B), AT DOORWAYS, WHERE THE HEIGHT OF THE TILING ANGLE NEEDS TO BE ADJUSTED FOR TILING PURPOSES, THE ANGLE MUST BE FIXED WITH A SEALANT COMPATIBLE WITH THE WATERPROOFING MEMBRANE WITHOUT DAMAGING THE WATERPROOFING SYSTEM.

GRADE ENTIRE FLOOR OF BATHROOM TO FALL 1:100 TOWARDS FW WHERE TILED SHOWER BASES ARE USED.

FIGURE 10.2.17 WATERSTOP FOR ENCLOSED SHOWERS WITHOUT HOB OR SET DOWNS

SHOWER AREA BATHROOM AREA

FALL 1:100 TO FW

FLOOR TILES

TILE BED (SCREED)

COMPATIBLE BOND OR FILLET

MEMBRANE

FLOORING SUBSTRATE

SHOWER SCREEN TRACK

FALL 1:100 TO FW

FLEXIBLE SEALANT

WATERSTOP TO BE CONTINUOUS AROUND WHOLE SHOWER SCREEN ADHERED AND/OR MECHANICALLY FIXED TO FLOOR SUBSTRATE

INSTALL WATERSTOP 1500mm MINIMUM FROM SHOWER OUTLET

THE WATERSTOP MUST FINISH FLUSH WITH THE TOP SURFACE OF THE FLOOR & A MINIMUM OF 1500mm FROM SHOWER OUTLET

WATERSTOP TO CREATE A CONTINUOUS PERIMETER A MINIMUM OF 1500mm AWAY FROM SHOWER OUTLET. WATERSTOP ANGLE ADHERED AND/OR MECHANICALLY FIXED TO FLOOR SUBSTRATE

ALL SHOWERS AND BASES TO BE FLUSH TILE, STEP-LESS BASE WITH SEMI-FRAMELESS GLASS SHOWER SCREENS WITH CHROME FIXING AND FITTINGS

FIGURE 10.2.18 WATERSTOP FOR UNENCLOSED SHOWERS

SHOWER AREA BATHROOM AREA

FALL 1:100 TO FW

FLOOR TILES

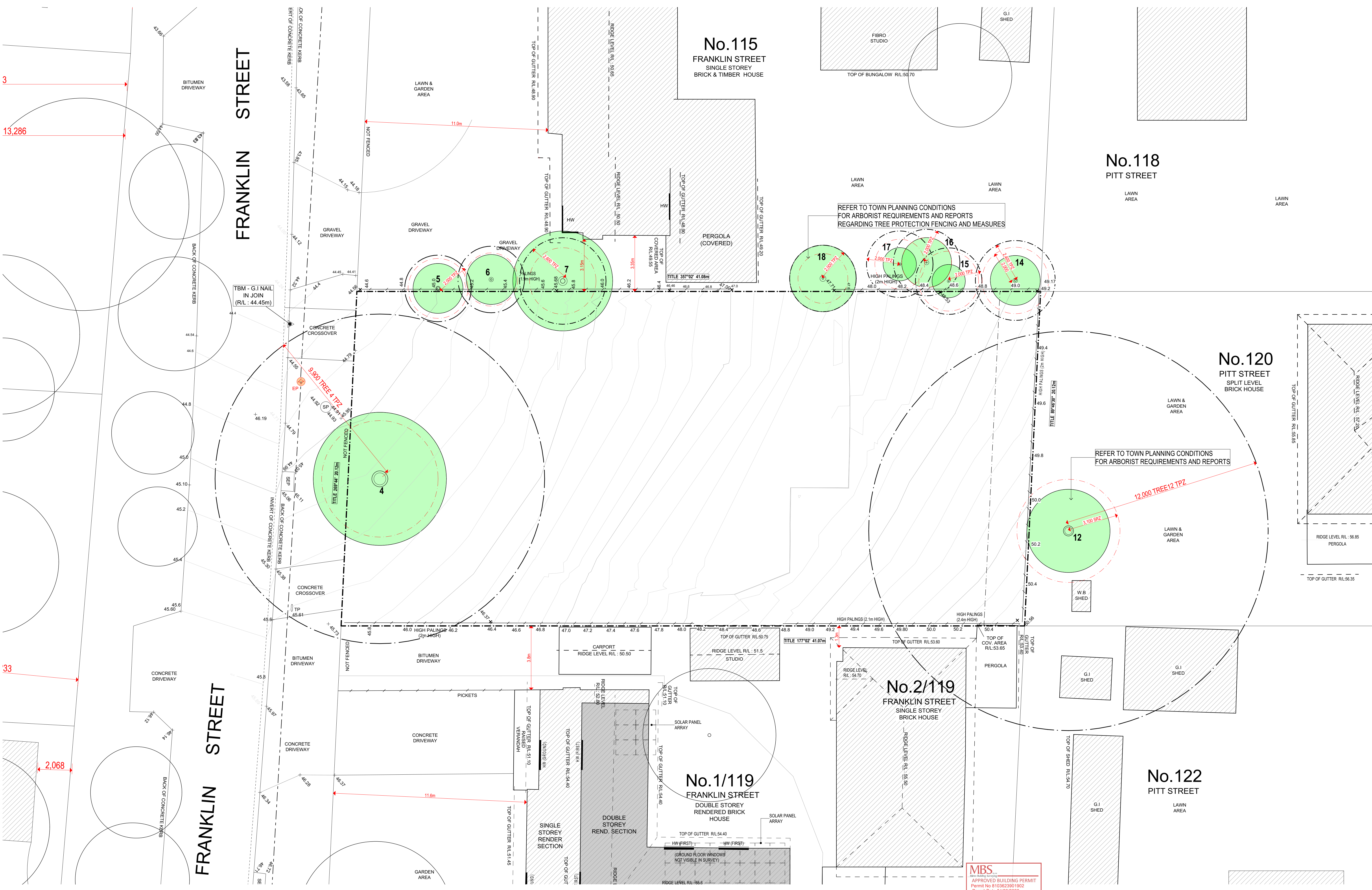
TILE BED (SCREED)

COMPATIBLE BOND OR FILLET

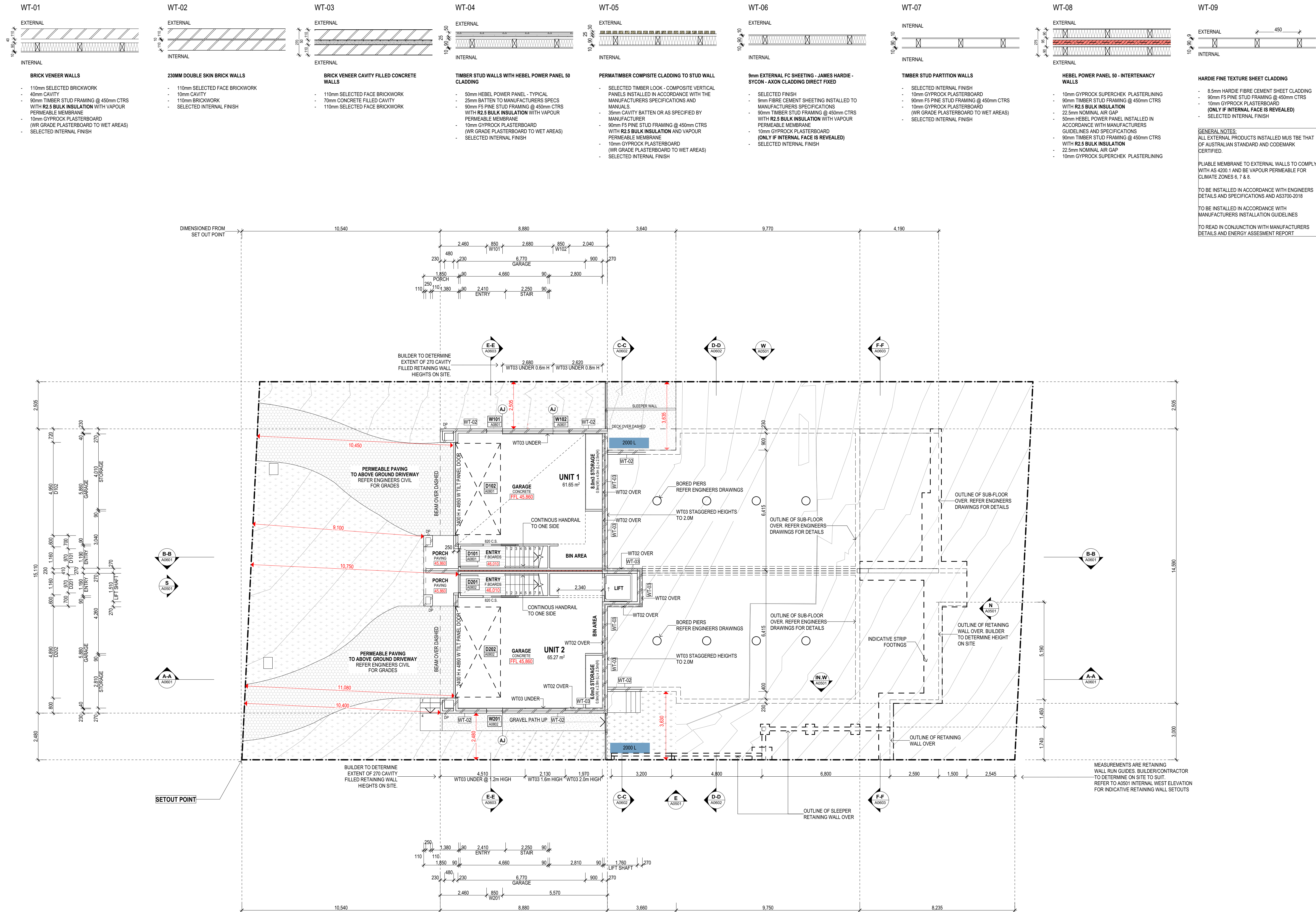
MEMBRANE

FLOORING SUBSTRATE

SHOWER SCREEN TRACK



WALL TYPE LEGEND:



LEGEND / ABBREVIATIONS

BATHROOM / ENSUITE		FW	FLOOR WASTE. TO BE SELECTED BY CLIENT (ALL WET AREAS)
SH	SHOWER		
WC	WATER CLOSET		
V	VANITY		
BT	BATH TUB		
LAUNDRY			
WM	WASHING MACHINE. DRYER TO BE MOUNTED OVER		
TR	TROUGH - TO BE SELECTED BY CLIENT		
KITCHEN			
S	SELECTED SINK		
CT	COOKTOP WITH RANGEHOOD OVER		
UO	UNDERBENCH OVEN		
P	PANTRY		
REF	REFRIGERATOR		
ELECTRICAL			
SA	SMOKE ALARMS IN ACCORDANCE WITH A.S. 3786 AND THE NCC 9:3		
EF	EXHAUST FAN TO BE DUCTED EXTERNALLY		
SITE / SERVICES			
C.L	CLOTHESLINE - FOLDING FRAME TYPE UNLESS OTHERWISE NOTED		
WT	WATER TAP		
HWS	INSTANTANEOUS HOT WATER SYSTEM -LOCATION TO BE CONFIRMED ON SITE PRIOR TO INSTALLATION		
AC	AIR CONDITIONER UNIT -LOCATION TO BE CONFIRMED ON SITE PRIOR TO INSTALLATION		
GM	GAS METER - LOCATION TO BE CONFIRMED ON SITE PRIOR TO INSTALLATION		
WM	WATER METER -LOCATION TO BE CONFIRMED ON SITE PRIOR TO INSTALLATION		
ROOF / DRAINAGE			
	CORRUGATED COLORBOND ROOFING IN COLORBOND COLOUR "WOODLAND GREY"- 25 DEGREE FALL TO GROUND FLOOR ROOFS		
	LYSAGHT KLIPLOK 0.48MT METAL ROOF SHEETING TO BE USED FOR ROOF PITCHES 3 DEGREES OR LESS		
	90mm dia. DOWNPIPES ARE TO BE ZINCALUME OR SELECTED COLORBOND FINISH. NOT TO EXCEED 12M SPACINGS BETWEEN DOWNPIPES. DOWNPIPES TO BE CONNECTED TO STORMWATER SYSTEM.		
DP	RAINWATER HEAD FROM DOWNPIPES TO BE SELECTED. PROVIDE OVERFLOW OUTLETS TO ALL RAINHEADS IN ACCORDANCE WITH AS 3500.3-2021		
DP+SPR	DOWNPIPE TO HAVE SPREADER ATTACHED AT THE BOTTOM TO DISPERSE RAINWATER OVER ROOF BELOW		
IBX	INTERNAL BOX GUTTER SUMP		
SKY	VELUX SKYLIGHTS TO BE NON-COMBUSTIBLE WHEN WITHIN 0.9M OF BOUNDARY		
RWT	2000L RAIN TANK UNDER ALFRESCO DECK CONNECTED TO TOILETS FOR FLUSHING (OR BUILDER TO INSTALL SOLAR HOT WATER SYSTEM)		
	BUILDER TO PROVIDE WHIRLY BIRD TO ROOF SPACES FOR CONDENSATION MANAGEMENT		

GENERAL NOTES

- ALL LEVELS NOMINATED ARE TO FINISHED SURFACES UNLESS NOTED OTHERWISE.
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- ALL INTERNAL DOORS, EXCLUDING ROBE AND EUROPEAN LAUNDRY DOORS, TO BE SEMI-SOLID CORE DOORS WITH 4.5mm MDF FACE.
- HEIGHT: 2400mm TYPICAL UNLESS NOTED OTHERWISE
- WIDTH: AS NOMINATED ON PLANS

STORMWATER DRAINAGE DESIGN

REFER TO CIVIL DRAWINGS FOR ALL STORMWATER CONNECTIONS, PITS AND PIPES. IF NOT PRIOR DETERMINED THAN:

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AREA ANALYSIS

DEVELOPMENT ANALYSIS

SITE AREA	825.37	m ²	
SITE COVERAGE	371.76	m ²	45.00%
PERMEABILITY	424.39	m ²	51.40%
GARDEN AREA	373.51	m ²	45.25%

UNIT 1

PORCH	2.70	m ²	0.30SQ
BASEMENT FLOOR AREA	61.65	m ²	6.70SQ
GROUND FLOOR AREA	154.43	m ²	16.70 SQ
FIRST FLOOR AREA	81.92	m ²	8.80SQ
ALFRESCO	29.04	m ²	
SPOS (EXCL. ALFRESCO & DECK)	97.24	m ²	
FRONT YARD	124.11	m ²	

UNIT 2

PORCH	2.70	m ²	0.30SQ
BASEMENT FLOOR AREA	65.27	m ²	7.00SQ
GROUND FLOOR AREA	149.64	m ²	16.00SQ
FIRST FLOOR AREA	71.31	m ²	7.60SQ
ALFRESCO	26.30	m ²	
SPOS (EXCLUDING ALFRESCO AREA)	98.79	m ²	
FRONT YARD	123.93	m ²	

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REVISIONS:

05.11.2025	P01	PRELIMINARY DRAWINGS PREPARED FOR SUB-CONSULTANT CIRCULATION
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12.12.2025	BP-A	BUILDING PERMIT ISSUE - ISSUED FOR CONSTRUCTION - CHANGES TO MASTER ROOM WINDOW

SITE ADDRESS:

117 FRANKLIN STREET ELTHAM

CLIENT:

AFACx PTY LTD

DRAWING TYPE:

WORKING DRAWING SET - CONSTRUCTION
ISSUE

PROJECT TYPE:

DUAL-OCCUPANCY DEVELOPMENT

DRAWING TITLE:

GARAGE LEVEL

SCALE:

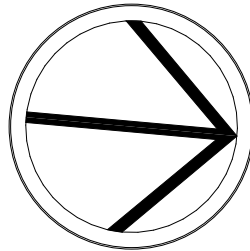
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PROJECT NO.

2209

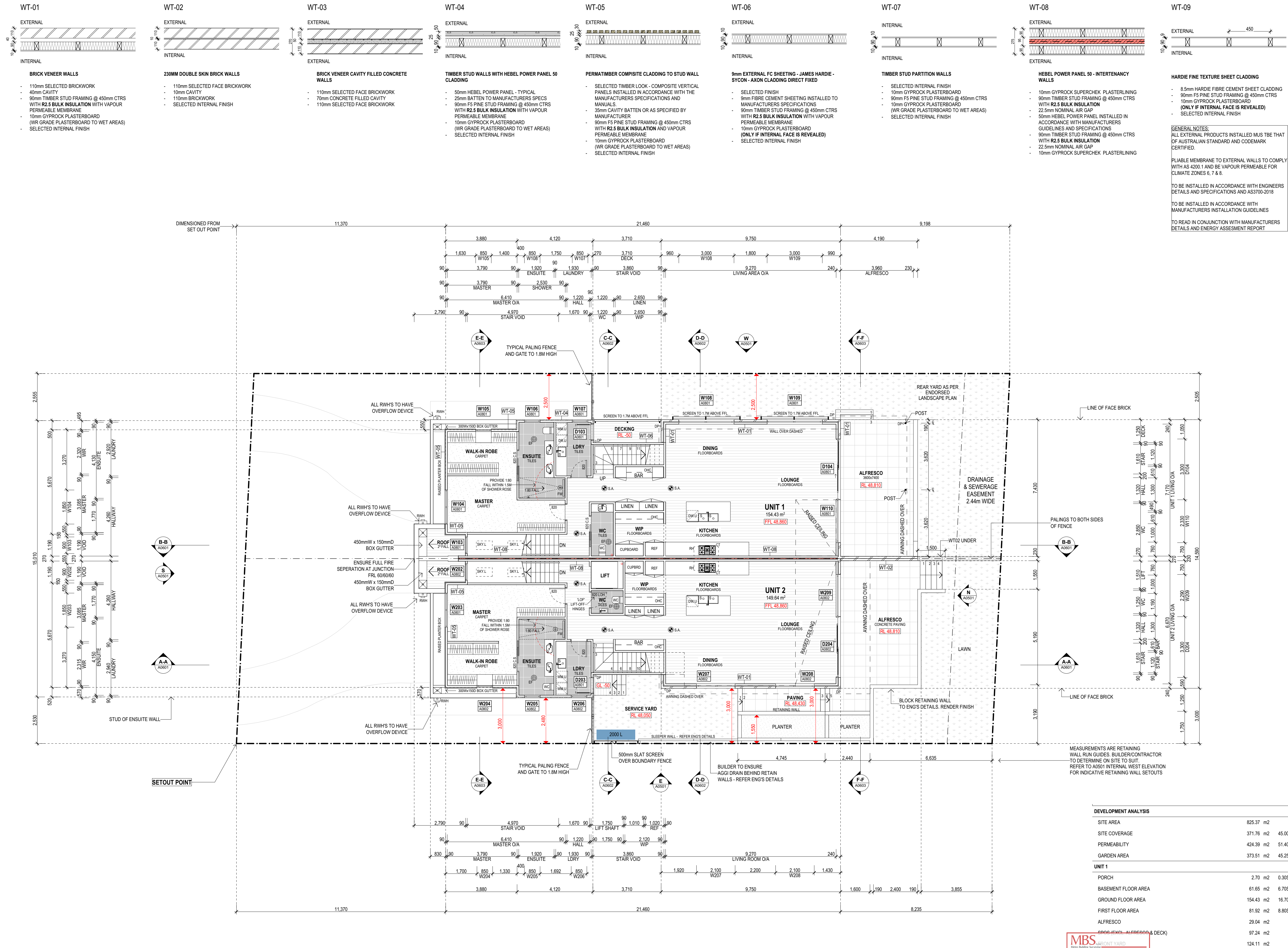
REVISION NO.

WD-BPA



A.02.01

WALL TYPE LEGEND:



LEGEND / ABBREVIATIONS

BATHROOM / ENSUITE		FW	FLOOR WASTE. TO BE SELECTED BY CLIENT (ALL WET AREAS)
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WC	WATER CLOSET		
V	VANITY		
BT	BATH TUB		
LAUNDRY			
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CT	COOKTOP WITH RANGEHOOD OVER		
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P	PANTRY		
REF	REFRIGERATOR		
ELECTRICAL			
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ROOF PLAN NOTES

ALL NEW ROOF SHOWN HATCHED TO BE ALUMINIUM KLIP-LOK HITEN ROOF SHEETING @ NOMINATED PITCH TO MANUFACTURERS SPECIFICATIONS.

ROOF FRAMING TO ENGINEER AND TRUSS MANUFACTURERS DESIGN AND SPECIFICATIONS

INSTALL 90mm DIA. DOWNPIPES AS SHOWN ON PLANS. PROVIDE RWH AT ALL BOX GUTTERS AS SHOWN. BUILDER TO ENSURE ALL PLUMBING MATERIALS ARE COMPATIBLE.

BUILDER TO ENSURE ALL ROOF SURFACES AND BOX GUTTERS ARE FLASHED AND WATERPROOFED IN ACCORDANCE WITH ALL RELEVANT CODES AND PRACTICES.

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ALL BOX GUTTERS TO HAVE MINIMUM FALL OF 1:100

ANTI-PONDING DEVICE / BOARD

IN ACCORDANCE WITH THE NCC 2022 - VOL 2 PART 7.3.5 -

- 1) AN ANTI-PONDING DEVICE/BOARD MUST BE PROVIDED WHERE SARKING IS INSTALLED ON:
 - A) ROOFS WITH A PITCH LESS THAN 20°; AND
 - B) ROOFS WITH NO EAVES OVERHANG, REGARDLESS OF THE ROOF PITCH

2) AN ANTI-PONDING DEVICE REQUIRED BY (1) MUST BE WATER RESISTANT AND FIXED ALONG THE EAVES LINE FROM THE TOP OF THE FASCIA BACK UP THE RAFTER WITH A CLEARANCE OF APPROXIMATELY 50mm BELOW THE FIRST BATTEN - SEE TYPICAL DETAIL BELOW.

DEVELOPMENT ANALYSIS

SITE AREA	825.37 m ²	
SITE COVERAGE	371.76 m ²	45.00%
PERMEABILITY	424.39 m ²	51.40%
GARDEN AREA	373.51 m ²	45.25%

UNIT 1

PORCH	2.70 m ²	0.30SQ
BASEMENT FLOOR AREA	61.65 m ²	6.70SQ
GROUND FLOOR AREA	154.43 m ²	16.70 SQ
FIRST FLOOR AREA	61.92 m ²	8.80SQ
ALFRESCO	29.04 m ²	
	97.24 m ²	
	124.11 m ²	

UNIT 2

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BASEMENT FLOOR AREA	65.27 m ²	7.00SQ
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FRONT YARD	123.93 m ²	

MBS
APPROVED BUILDING PERMIT
Permit No 8103623901802
Permit Date 04/03/2026

REVISIONS:

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SITE ADDRESS:

117 FRANKLIN STREET ELTHAM

CLIENT:

AFACx PTY LTD

DRAWING TYPE:

WORKING DRAWING SET - CONSTRUCTION ISSUE

PROJECT TYPE:

DUAL-OCCUPANCY DEVELOPMENT

DRAWING TITLE:

GROUND FLOOR LEVEL

SCALE:

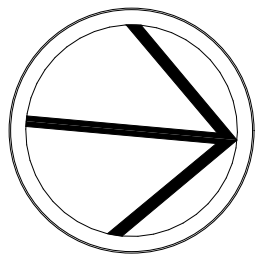
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PROJECT NO.

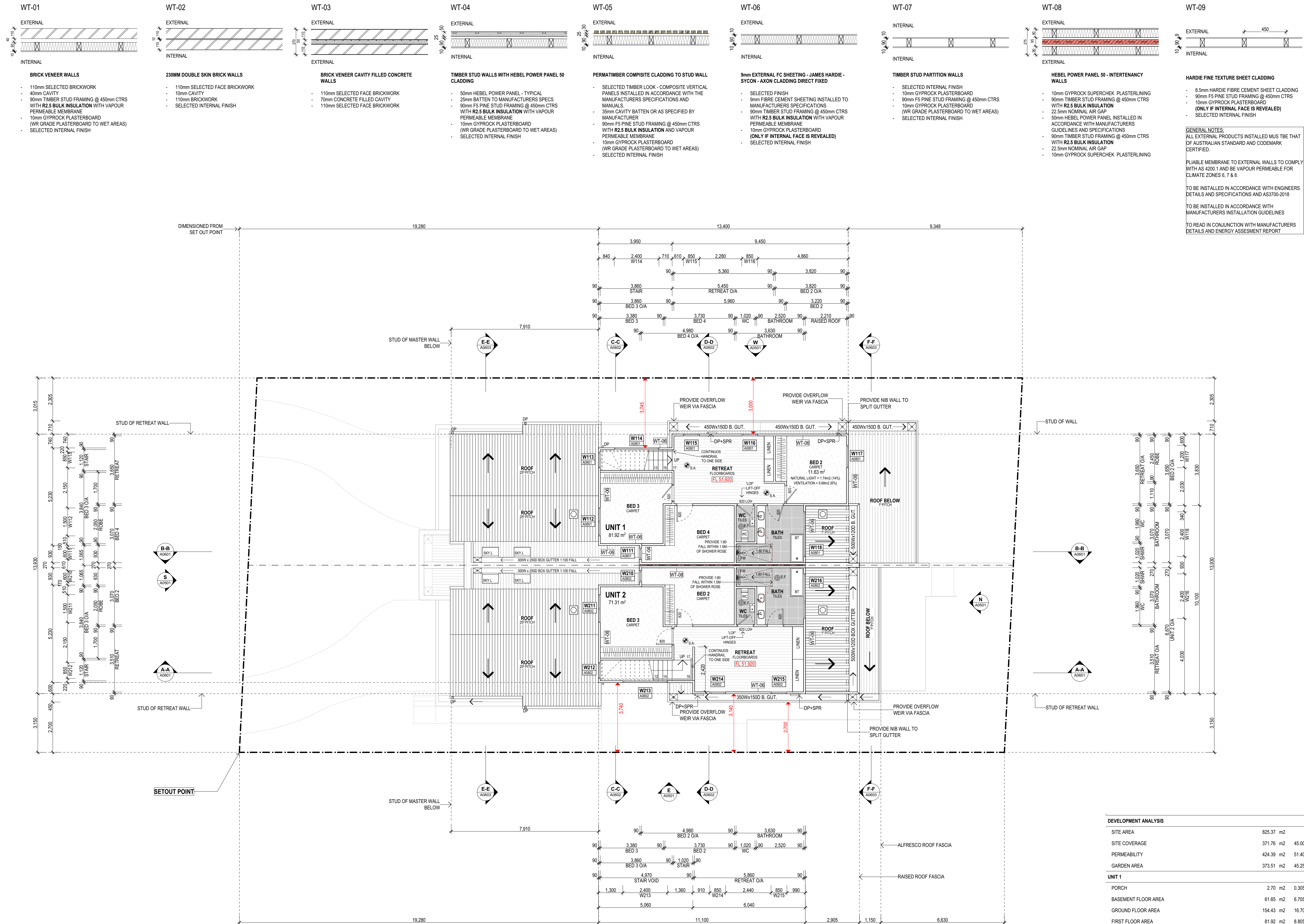
2209

REVISION NO.

WD-BPA



WALL TYPE LEGEND:



LEGEND / ABBREVIATIONS

BATHROOM / ENSUITE	FW	FLOOR WASTE. TO BE SELECTED BY CLIENT (ALL WET AREAS)
SH SHOWER		
WC WATER CLOSET		
V VANITY		
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P PANTRY		
REF REFRIGERATOR		
ELECTRICAL		
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EF EXHAUST FAN TO BE DUCTED EXTERNALLY		
SITE / SERVICES		
CL CLOTHESLINE - FOLDING FRAME TYPE UNLESS OTHERWISE NOTED		
WT WATER TAP		
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ALFRESCO	29.04 m ²	
FRONT YARD	97.24 m ²	
BACK YARD	124.11 m ²	

UNIT 2

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REVISIONS:

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SITE ADDRESS:

117 FRANKLIN STREET ELTHAM

CLIENT:

AFACx PTY LTD

DRAWING TYPE:

WORKING DRAWING SET - CONSTRUCTION ISSUE

PROJECT TYPE:

DUAL-OCCUPANCY DEVELOPMENT

DRAWING TITLE:

FIRST FLOOR PLAN

SCALE:

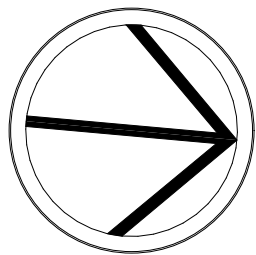
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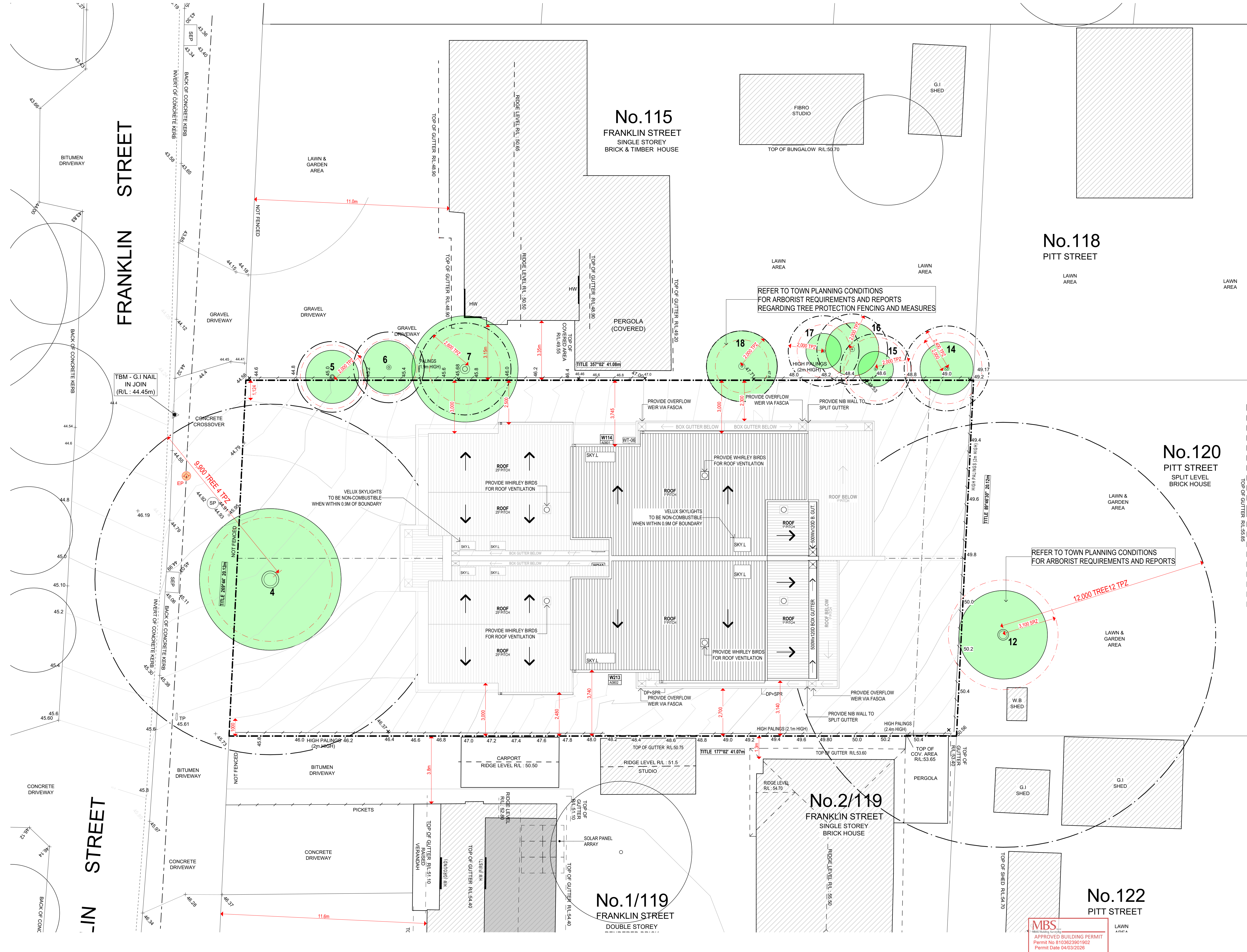
PROJECT NO.

2209

REVISION NO.

WD-BPA





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ALL NEW ROOF SHOWN HATCHED TO BE ALUMINIUM KLIP-LOK HITEN ROOF SHEETING @ NOMINATED PITCH TO MANUFACTURERS SPECIFICATIONS.

ROOF FRAMING TO ENGINEER AND TRUSS MANUFACTURERS DESIGN AND SPECIFICATIONS

INSTALL 90mm DIA. DOWNPIPES AS SHOWN ON PLANS. PROVIDE RWI AT ALL BOX GUTTERS AS SHOWN. BUILDER TO ENSURE ALL PLUMBING MATERIALS ARE COMPATIBLE.

BUILDER TO ENSURE ALL ROOF SURFACES AND BOX GUTTERS ARE FLASHED AND WATERPROOFED IN ACCORDANCE WITH ALL RELEVANT CODES AND PRACTICES.

ALL DOWNPIPES TO BE CONNECTED TO LEGAL POINT OF DISCHARGE POINTS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITIES.

ALL DOWNPIPES AND GUTTERS TO BE CONCEALED WHERE POSSIBLE. ALL NEW DOWNPIPES, GUTTERS, AND FLASHINGS TO BE SELECTED COLORBOND ALUMINIUM STEEL FINISH.

ALL EXPOSED DOWNPIPES TO BE COLORBOND STEEL IN SELECTED COLOUR TO MATCH WALL BEHIND.

ALL BOX GUTTERS TO HAVE MINIMUM FALL OF 1:100

ANTI-PONDING DEVICE / BOARD

IN ACCORDANCE WITH THE NCC 2022 - VOL 2 PART 7.3.5 -

1) AN ANTI-PONDING DEVICE/BOARD MUST BE PROVIDED WHERE SARKING IS INSTALLED ON:
A) ROOFS WITH A PITCH LESS THAN 20°; AND
B) ROOFS WITH NO EAVES OVERHANG, REGARDLESS OF THE ROOF PITCH

2) AN ANTI-PONDING DEVICE REQUIRED BY (1) MUST BE WATER RESISTANT AND FIXED ALONG THE EAVES LINE FROM THE TOP OF THE FASCIA BACK UP THE RAFTER WITH A CLEARANCE OF APPROXIMATELY 50mm BELOW THE FIRST BATTEN - SEE TYPICAL DETAIL BELOW.

ROOF / DRAINAGE

CORRUGATED COLORBOND ROOFING IN COLORBOND COLOUR "WOODLAND GREY" - 25 DEGREE FALL TO GROUND FLOOR ROOFS

LYSAGHT KLIP-LOK 0.48MM METAL ROOF SHEETING TO BE USED FOR ROOF PITCHES 3 DEGREES OR LESS

90mm dia. DOWNPIPES ARE TO BE ZINCALUME OR SELECTED COLORBOND FINISH. NOT TO EXCEED 12M SPACINGS BETWEEN DOWNPIPES. DOWNPIPES TO BE CONNECTED TO STORMWATER SYSTEM.

RAINWATER HEAD FROM DOWNPIPES TO BE SELECTED. PROVIDE OVERFLOW OUTLETS TO ALL RAINHEADS IN ACCORDANCE WITH AS 3500.3:2001

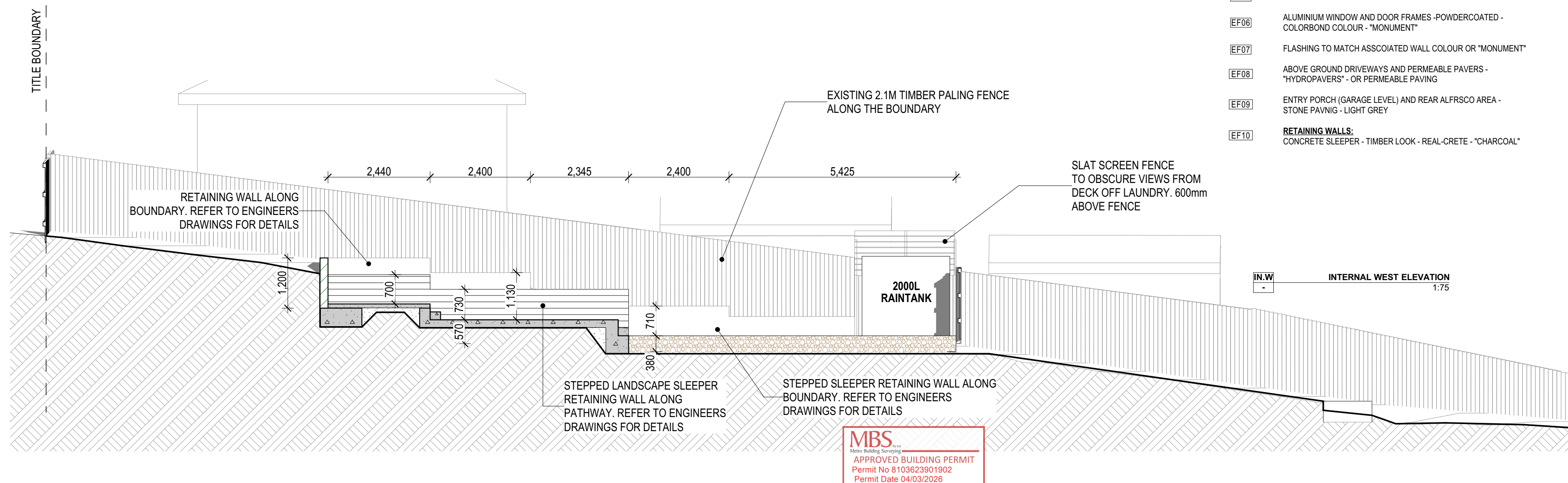
DOWNPIPE TO HAVE SPREADER ATTACHED AT THE BOTTOM TO DISPERSE RAINWATER OVER ROOF BELOW

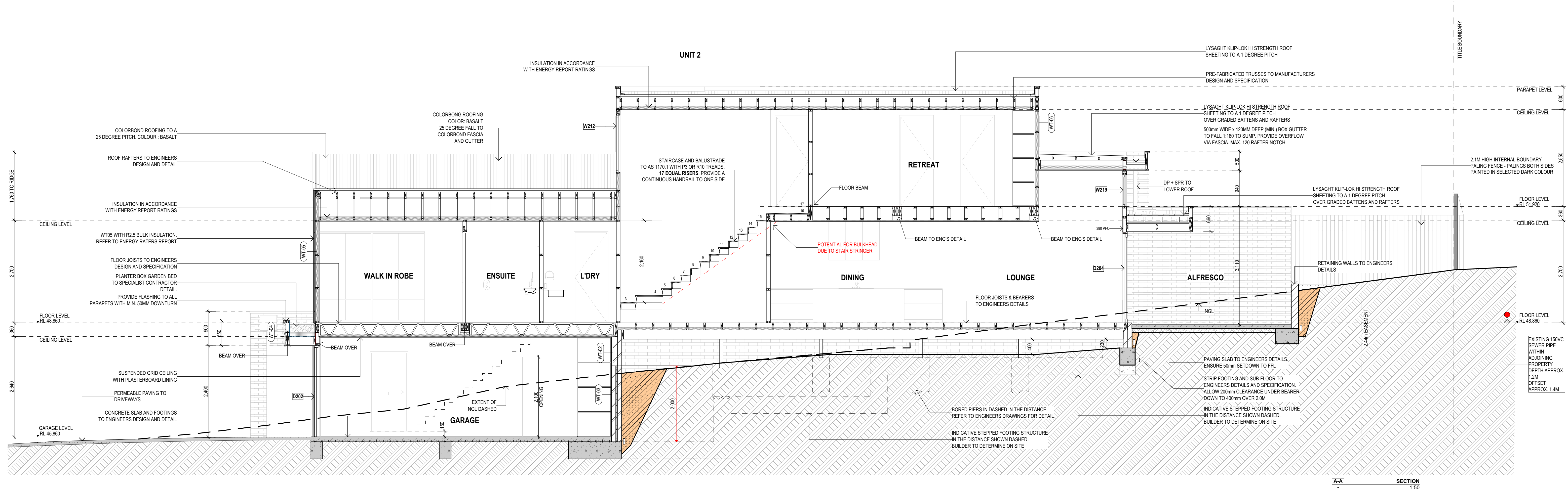
INTERNAL BOX GUTTER SUMP

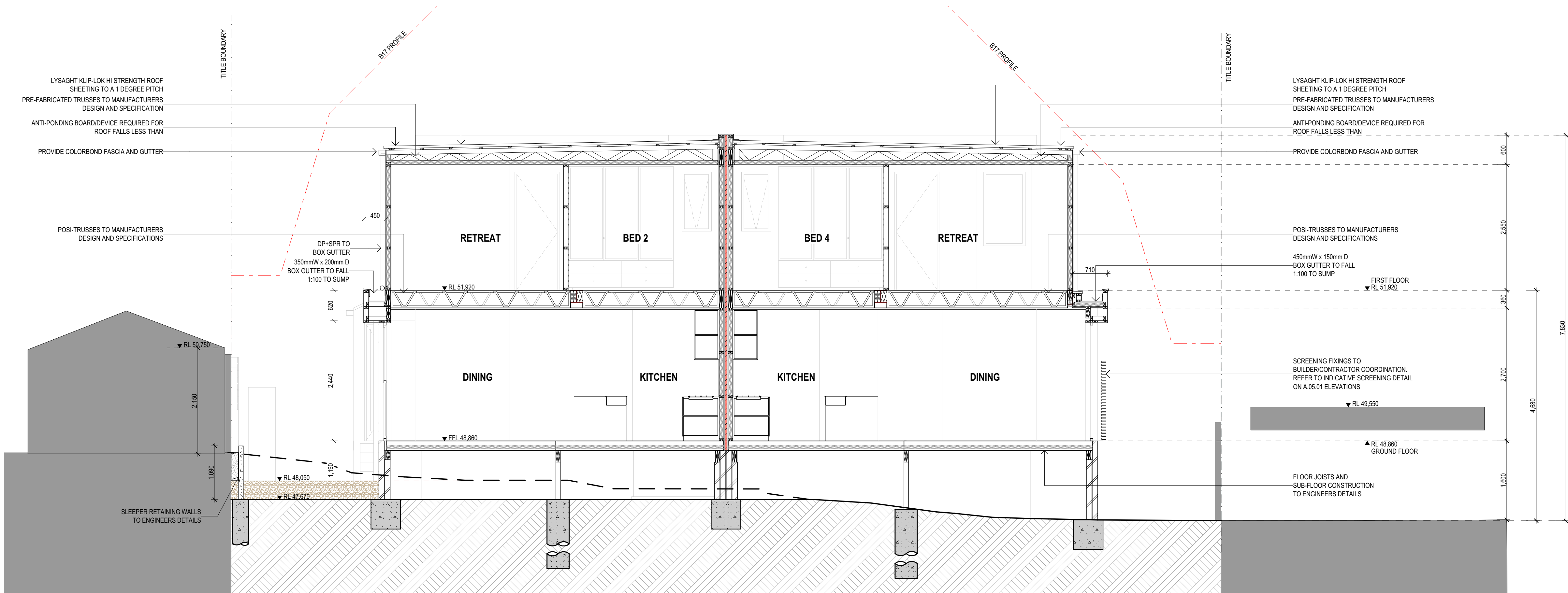
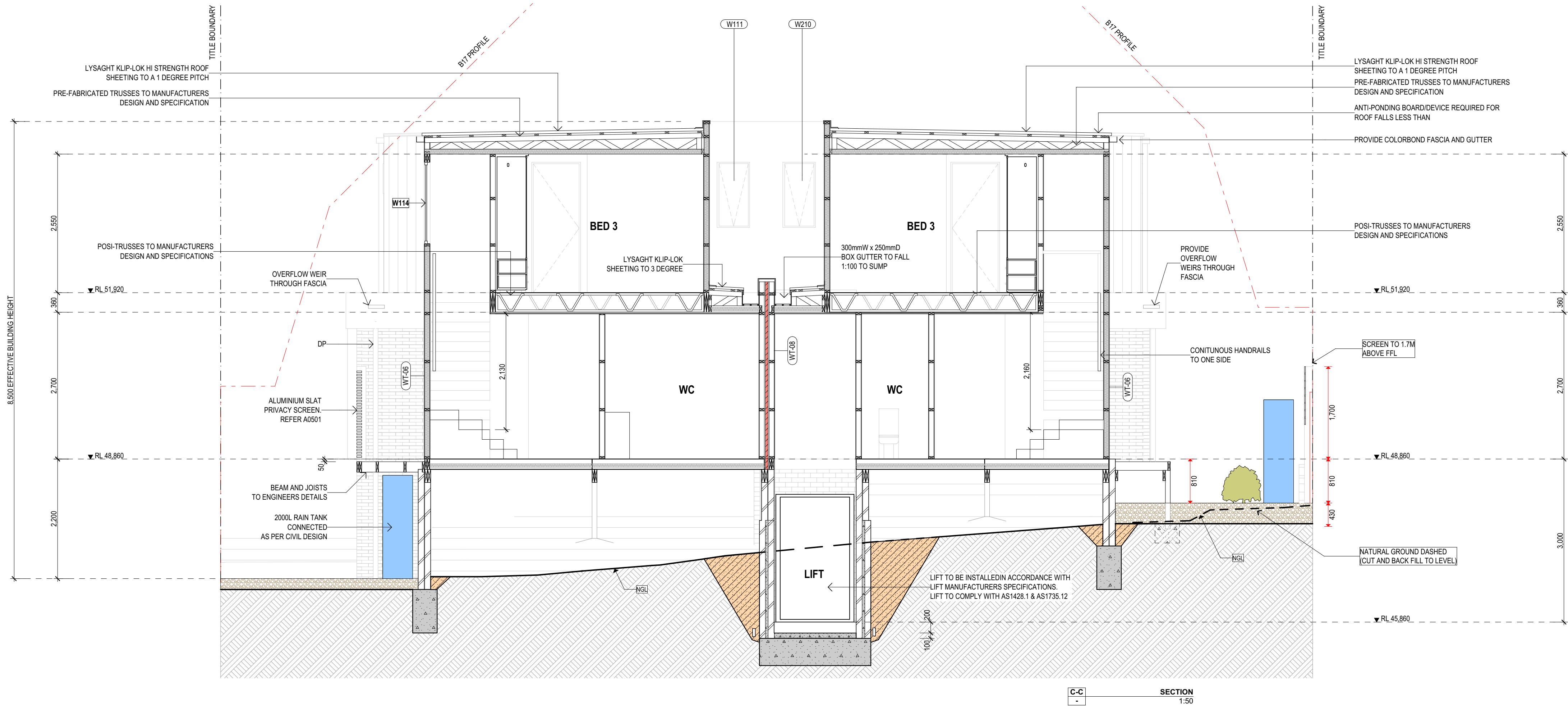
VELUX SKYLIGHTS TO BE NON-COMBUSTIBLE WHEN WITHIN 0.9M OF BOUNDARY

2000L RAIN TANK UNDER ALFRESCO DECK CONNECTED TO TOILETS FOR FLUSHING (OR BUILDER TO INSTALL SOLAR HOT WATER SYSTEM)

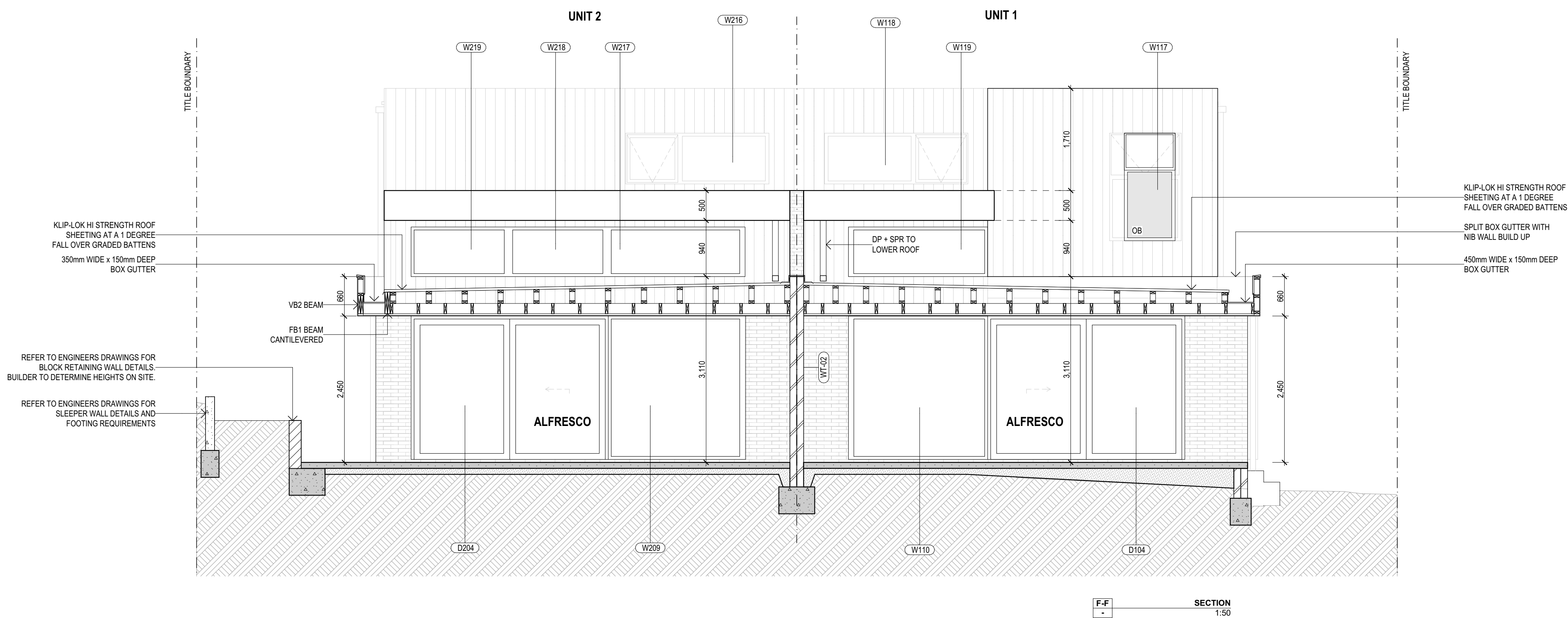
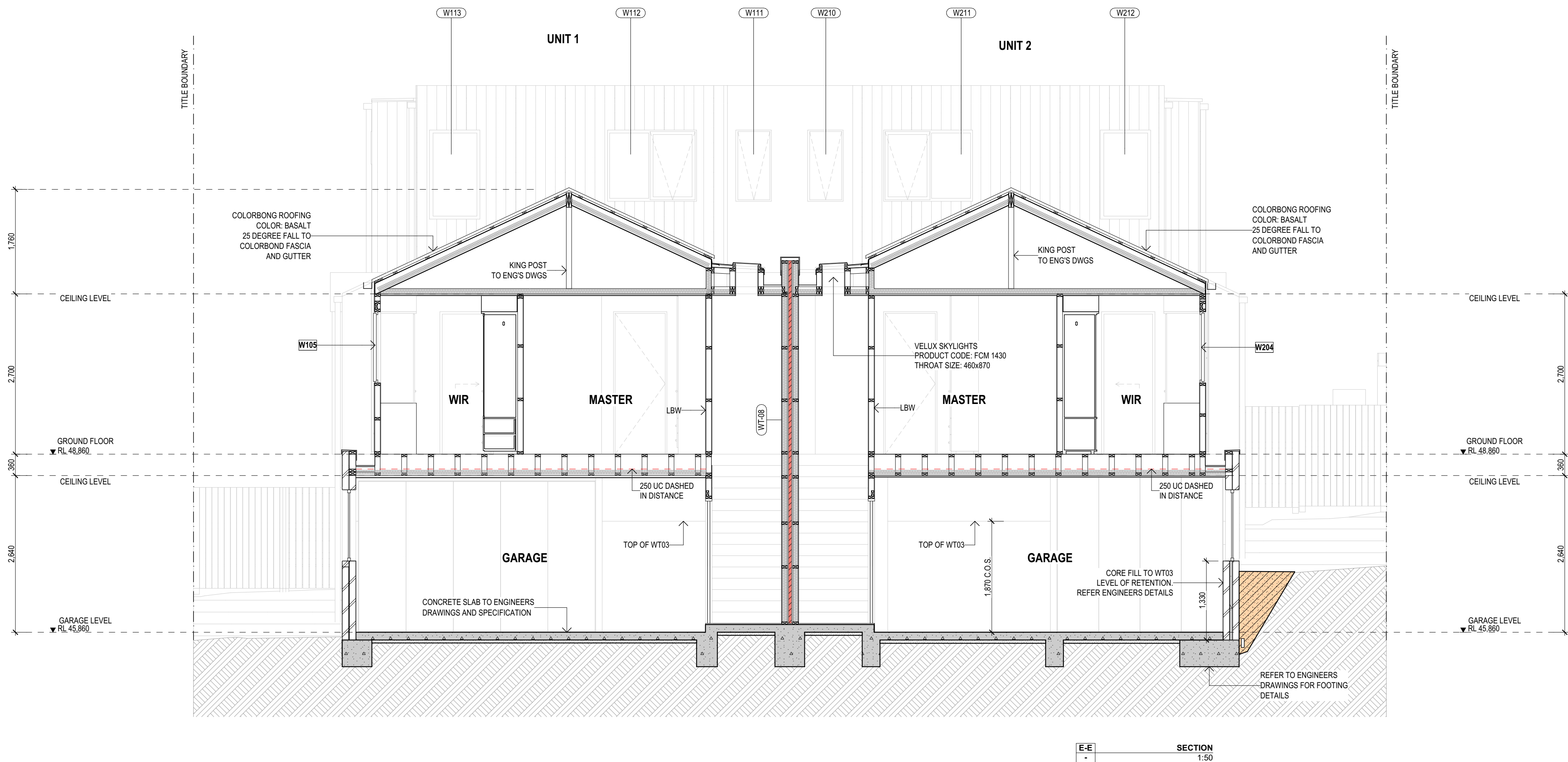
BUILDER TO PROVIDE WHIRLEY BIRD TO ROOF SPACES FOR CONDENSATION MANAGEMENT

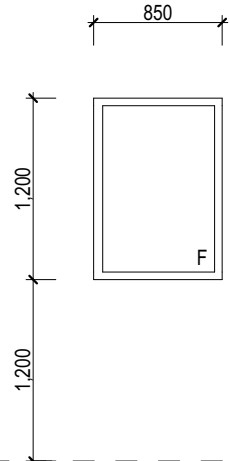
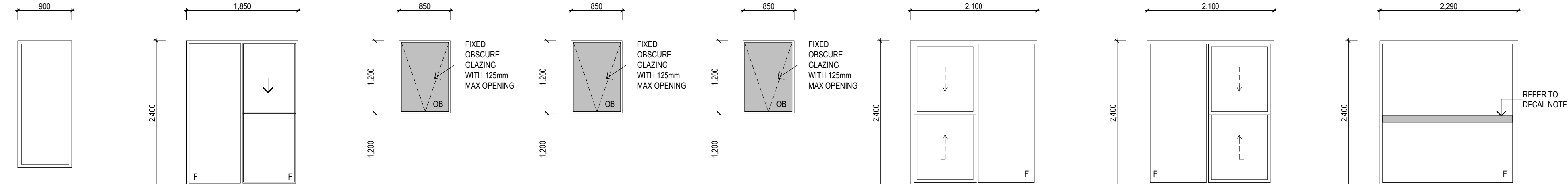
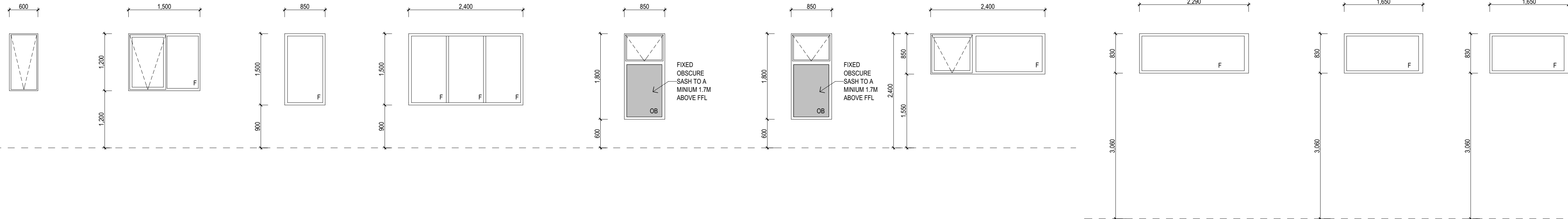
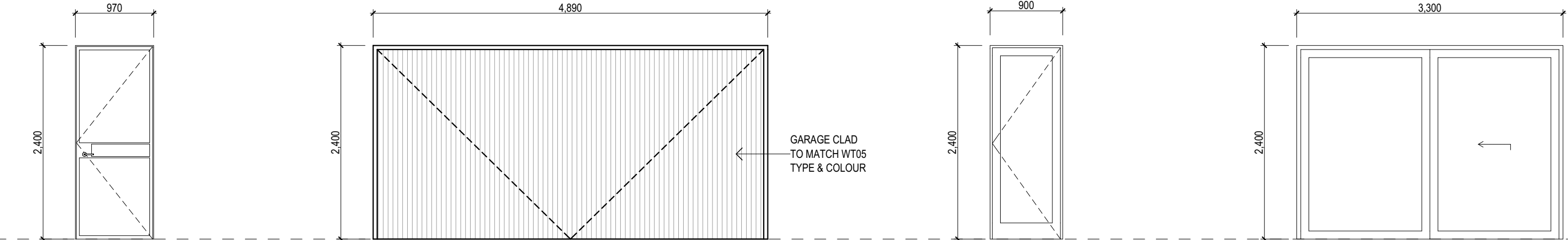






MBS
APPROVED BUILDING PERMIT
Permit No 8103623901802
Permit Date 04/03/2026



WINDOW SCHEDULE - UNIT 2			
ELEVATION			
GARAGE LEVEL			
WINDOW NUMBER	W201		
NOTES	FIXED ALUMINIUM WINDOW GARAGE LEVEL		
WINDOW SCHEDULE - UNIT 2			
ELEVATION			
FLOOR LEVEL			
WINDOW NUMBER	W202	W203	W204
NOTES	FIXED ALUMINIUM WINDOW TO STAIR VOID OVER ENTRY FOYER	DOUBLE WINDOW WITH SINGLE HUNG SASHLESS WINDOW	TOP HUNG ALUMINIUM WINDOW OBSCURE GLAZED WITH A RESTRICTED OPENING OF 125mm
WINDOW SCHEDULE - UNIT 2		W205	W206
NOTES		TOP HUNG ALUMINIUM WINDOW OBSCURE GLAZED WITH A RESTRICTED OPENING OF 125mm	TOP HUNG ALUMINIUM WINDOW OBSCURE GLAZED WITH A RESTRICTED OPENING OF 125mm
WINDOW SCHEDULE - UNIT 2		W207	W208
NOTES		ALUMINIUM WINDOW WITH 2x EQUAL PANELS - ONE DOUBLE HUNG AND ONE FIXED PANELS	ALUMINIUM WINDOW WITH 2x EQUAL PANELS - ONE DOUBLE HUNG AND ONE FIXED PANELS
WINDOW SCHEDULE - UNIT 2		W209	
NOTES		FIXED ALUMINIUM WINDOW WITH WINDOW DECALS AS PER GENERAL NOTE	
WINDOW SCHEDULE - UNIT 2			
ELEVATION			
FLOOR LEVEL			
WINDOW NUMBER	W210	W211	W212
NOTES	TOP HUNG ALUMINIUM WINDOW	ALUMINIUM WINDOW WITH 2x EQUAL PARTS WITH A TOP HUNG SASH	FIXED ALUMINIUM WINDOW TO STAIR VOID ON FIRST FLOOR
WINDOW SCHEDULE - UNIT 2		W213	W214
NOTES		TRIPLE SASH FIXED ALUMINIUM WINDOW TO STAIR VOID ON FIRST FLOOR	FIXED ALUMINIUM WINDOW WITH OBSCURE GLAZING TO A MINIMUM 1.7M ABOVE FFL, TOP HUNG CLEAR SASH OVER
WINDOW SCHEDULE - UNIT 2		W215	W216
NOTES		FIXED ALUMINIUM WINDOW WITH OBSCURE GLAZING TO A MINIMUM 1.7M ABOVE FFL, TOP HUNG CLEAR SASH OVER	ALUMINIUM FRAMED WINDOW WITH SWNING SASH
WINDOW SCHEDULE - UNIT 2		W217	W218
NOTES		FIXED ALUMINIUM FRAMED HIGHLIGHT WINDOW	FIXED ALUMINIUM FRAMED HIGHLIGHT WINDOW
WINDOW SCHEDULE - UNIT 2		W219	
NOTES		FIXED ALUMINIUM FRAMED HIGHLIGHT WINDOW	
DOOR SCHEDULE - UNIT			
ELEVATION			
FLOOR LEVEL			
DOOR NUMBER	D201	D202	D203
NOTES	ALUMINIUM FRAMED FRONT ENTRY DOOR TO BE FULLY GLAZED. BUILDER TO SELECT ALL DOOR HARDWARE	TLT PANEL GARAGE DOOR WITH CLADDING TO MATCH WT05 BATTEN LOOK.	SOLID CORE TIMBER DOOR WITH GLAZING INFILL PANEL
DOOR SCHEDULE - UNIT		D204	
NOTES		ALUMINIUM FRAMED SLIDING DOOR UNIT WITH 2x EQUAL PANELS	

DECALS TO GLAZED DOOR UNIT

PROVIDE DECALS TO FULL HEIGHT GLAZING DOOR UNIT.

MARKINGS SHALL BE IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20MM IN HEIGHT AND LOCATED SO THAT THE VERTICAL DISTANCE FROM THE FLOOR LEVEL IS -

- A) NOT LESS THAN 700 MM FROM THE UPPER EDGE OF THE BAND; AND
B) NOT MORE THAN 1200 MM TO THE LOWER EDGE OF THE BAND.

WINDOW LEGEND

F	FIXED PANEL
OB	OBSCURE GLAZING TO A MINIMUM 1.7M ABOVE FFL

ALL WINDOWS TO BE ALUMINIUM FRAMED AND SEALED, AWNING, UNLESS OTHERWISE NOTED. GLAZING TO BE CLEAR UNLESS OTHERWISE SPECIFIED AND TO MEET THE REQUIREMENTS OF AS 1288 (2006). ALL WINDOW HEADS TO BE SET AT 2400mm HIGH ABOVE FINISHED FLOOR LEVELS UNLESS OTHERWISE NOTED. REFER TO ELEVATIONS FOR ALL DECORATIVE FEATURES, GLAZING BARS, TRANSOM BARS, ETC.

- ALL INTERNAL DOORS, EXCLUDING ROBE AND EUROPEAN LAUNDRY DOORS, TO BE SEMI-SOLID CORE DOORS WITH 4.5mm MDF FACE.
HEIGHT: 2400mm TYPICAL UNLESS NOTED OTHERWISE
WIDTH: AS NOMINATED ON PLANS

ALTERNATIVELY, ALL INTERNAL DOOR HEIGHTS TO MATCH THAT OF ADJOINING EXTERNAL WINDOW AND DOOR HEIGHTS.

WINDOW AND DOOR REQUIREMENTS

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ENERGY RATING REPORT PREPARED BY ENERGY ASSESS CONSULTANTS, A SUMMARY OF THE GENERAL RATING ASSUMPTIONS ARE LISTED BELOW. THE BUILDER IS RESPONSIBLE TO INCORPORATE ALL REQUIREMENTS STATED IN THE REPORT.

ENERGY REQUIREMENTS

WINDOWS & DOOR DETAILS

FRAMES - ALUMINIUM

ALL AWNING WINDOWS

DOUBLE GLAZED: U=1.85, SHGC=0.46

ALL DOUBLE HUNG WINDOWS

DOUBLE GLAZED: U=2.94, SHGC=0.47

ALL FIXED WINDOWS

DOUBLE GLAZED: U=1.84, SHGC=0.60

ALL GLAZED HINGE DOORS

DOUBLE GLAZED: U=3.23, SHGC=0.43

ALL GLAZED SLIDING DOORS

DOUBLE GLAZED: U=1.93, SHGC=0.49

SKYLIGHT GLAZING

DOUBLE GLAZED: U=2.58, SHGC=0.24

WINDOW MANUFACTURER - SELECTED TO MEET REQUIREMENTS

	62 799 736 551	GENERAL NOTES DISCLAIMER THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION. NOTIFY ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE BUILDING DESIGNER PRIOR TO THE CONTINUATION OF WORKS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION. DO NOT SCALE OFF DRAWINGS. ALL BOUNDARIES AND CONTOURS ARE SUBJECT TO THE SURVEY.	REVISIONS:	P01	PRELIMINARY DRAWINGS PREPARED FOR SUB-CONSULTANT CIRCULATION	SITE ADDRESS: 117 FRANKLIN STREET ELTHAM	CLIENT: AFACx PTY LTD	DRAWING TYPE:	WORKING DRAWING SET - CONSTRUCTION ISSUE	DRAWING TITLE:	DOOR & WINDOW SCHEDULES - UNIT 2	PROJECT NO.	2209	A.08.02
	PO BOX 790 MACLEOD WEST VIC 3085		P02	PRELIMINARY DRAWINGS UPDATED TO INCLUDED TRUSS AND POSI CHANGES TO ENGINEERING	PROJECT TYPE:			DUAL-OCCUPANCY DEVELOPMENT	SCALE:	@ A1	REVISION NO.	WD-BPA		
	0421 926 585		P03	PRELIMINARY DRAWINGS UPDATED FOR SUB-CONSULTANT WORKS, INCLUDING ENERGY AND BUILDING SURVEYOR										
	studio@kiddesign.com.au		BP	BUILDING PERMIT ISSUE - ISSUED FOR CONSTRUCTION										
	www.kiddesign.com.au		BP-A	BUILDING PERMIT ISSUE - ISSUED FOR CONSTRUCTION - CHANGES TO MASTER ROOM WINDOW										
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